

GRANITE STATE

ANALYTICAL SERVICES, LLC.

22 Manchester Road, Unit 2, Derry, NH 03038

Phone: (800) 699-9920 | (603) 432-3044

website: www.granitestateanalytical.com

CERTIFICATE OF ANALYSIS FOR DRINKING WATER

DATE PRINTED: 08/13/2020
CLIENT NAME: Covered Bridge Prof. Home Insp.

CLIENT ADDRESS: 1540 Spaulding Road
St. Johnsbury, VT 05819

SAMPLE ID#: 2008-01374-001
SAMPLED BY: Covered Bridge Prof. Home Insp.

SAMPLE ADDRESS: 57 Edson Woods Rd
Stowe VT 05672

DATE AND TIME COLLECTED: 08/10/2020 12:30PM
DATE AND TIME RECEIVED: 08/11/2020 10:07AM
ANALYSIS PACKAGE: Comp (MPN)-Covered Brid
RECEIPT TEMPERATURE: ON ICE 22.8° CELSIUS
CLIENT JOB #

Legend	
Passes	✓
Fails EPA Primary	✗
Fails EPA Secondary	⚠
Fails State Guideline	✗
Attention	⚠

MORE LOC INFO:

Test Description	Results	Test Units	Pass /Fail	DQ Flag	RL	Limit	Method	Analyst	Date-Time Analyzed
Calcium*	26.8	mg/L			0.1	No Limit	EPA 200.8	DR-NH	08/12/20 1:24PM
Copper*	<0.001	mg/L	✓		0.001	1.3 mg/L	EPA 200.8	DR-NH	08/12/20 1:24PM
Hardness (calc.)*	82.7	mg CaCO3/L			0.25	No Limit	EPA 200.8	DR-NH	08/12/20 1:24PM
Iron*	0.28	mg/L	✓		0.1	0.3 mg/L	EPA 200.8	DR-NH	08/12/20 1:24PM
Lead*	<0.001	mg/L	✓		0.001	0.015 mg/L	EPA 200.8	DR-NH	08/12/20 1:24PM
Magnesium*	3.84	mg/L			0.1	No Limit	EPA 200.8	DR-NH	08/12/20 1:24PM
Manganese*	0.150	mg/L	⚠		0.001	0.05 mg/L	EPA 200.8	DR-NH	08/12/20 1:24PM
Sodium*	2.64	mg/L			0.1	No limit	EPA 200.8	DR-NH	08/12/20 1:24PM
Chloride*	2	mg/L	✓		2	250 mg/L	EPA 300.0	DG-NH	08/11/20 11:38AM
Fluoride*	<0.2	mg/L	✓		0.2	4.0 mg/L	EPA 300.0	DG-NH	08/11/20 11:38AM
Nitrate as N*	<0.2	mg/L	✓		0.2	10 mg/L	EPA 300.0	DG-NH	08/11/20 11:38AM
Nitrite as N*	<0.2	mg/L	✓		0.2	1 mg/L	EPA 300.0	DG-NH	08/11/20 11:38AM
pH*	7.94	SU	✓	H	N/A	6.5 - 8.5 SU	SM 4500 H B	DG-NH	08/11/20 10:37AM
Coliform MPN*	< 1	MPN/100mL	✓		1	No Limit	SM 9223B	DG-NH	08/12/20 9:10AM
E. coli MPN*	< 1	MPN/100mL	✓		1	0	SM 9223B	DG-NH	08/12/20 9:10AM
Total Coliform / E.coli Bacteria Preparation							SM 9223B	DG-NH	08/11/20 1:53PM

The results presented in this report relate to the samples listed above in the condition in which they were received.

RL: "Reporting limit" means the lowest level of an analyte that can be accurately recovered from the matrix of interest.

Data Qualifier (DQ) Flags: H = Hold time non-compliant.

* NELAP Accredited Analysis



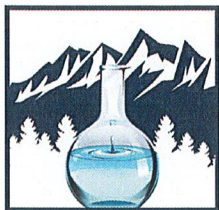
Donald A. D'Anjou

Donald A. D'Anjou, Ph. D.
Laboratory Director

This analysis meets NELAP requirements except as noted.

State Certifications: | NH 1015 | MA M-NH003 | ME NH00003 | RI 101513 | VT VT-101507 |

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St. Johnsbury, VT 05819
SAMPLE ID#: 2008-01374-002
SAMPLED BY: Covered Bridge Prof. Home Insp.

SAMPLE ADDRESS: 57 Edson Woods Rd
Stowe VT 05672

MORE LOC INFO:

Legend	
Passes	✓
Fails EPA Primary	✗
Fails EPA Secondary	⚠
Fails State Guideline	✗
Attention	⚠

DATE AND TIME COLLECTED: 08/10/2020 12:30PM
DATE AND TIME RECEIVED: 08/11/2020 10:07AM
ANALYSIS PACKAGE: Arsenic-Radon-MS-VT
RECEIPT TEMPERATURE: ON ICE 22.8° CELSIUS
CLIENT JOB #

Test Description	Results	Test Units	Pass /Fail	DQ Flag	RL	Limit	Method	Analyst	Date-Time Analyzed
Arsenic*	0.0020	mg/L	✓		0.001	0.010 mg/L	EPA 200.8	DR-NH	08/12/20 1:24PM
Radon	8200	pCi/L	✗		100	4000 pCi/L (VT/ME Limit)	SM 7500Rn-B	TT-ME	08/13/20 12:41AM

The results presented in this report relate to the samples listed above in the condition in which they were received.

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Data Qualifier (DQ) Flags: H = Hold time non-compliant.

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Radon Inspection Report

Test Location:

Simone Veronneau

Test For:57 Edson Woods Road
Stowe, VT 05672**Inspected By:**Barry Sykes
1540 Spaulding Rd
St. Johnsbury, VT 05819
1-866- 388-2692

Bldg. Type: Residential Single Family

Type: Real Estate Transaction



Test Result: Below EPA Recommended Action Level

EPA Average:**1.9 pCi/l****Test Device Details:**Serial Number: 251687013
Model Number: 1028XP
Last Calibration: 01/16/2020
Next Calibration: 01/16/2021
Cal-Factors: 2.85
Motion Error: No**Test Site Condition:**Structure Type: Two Story
Year Built: 1993
Sq Ft: 4782**Test Summary:**

<u>CRM Location:</u>	<u>Start:</u>	<u>Stop:</u>	<u>Interval:</u>	<u>Duration:</u>
Basement	08/10/2020 10:53 PM	08/12/2020 10:53 PM	1 hr	48 hr

	<u>Min:</u>	<u>Max:</u>	<u>Average:</u>	<u>Measurement Units:</u>
*First 4 hrs of data excluded Radon Concentration:	0.0	4.2	1.9	pCi/l

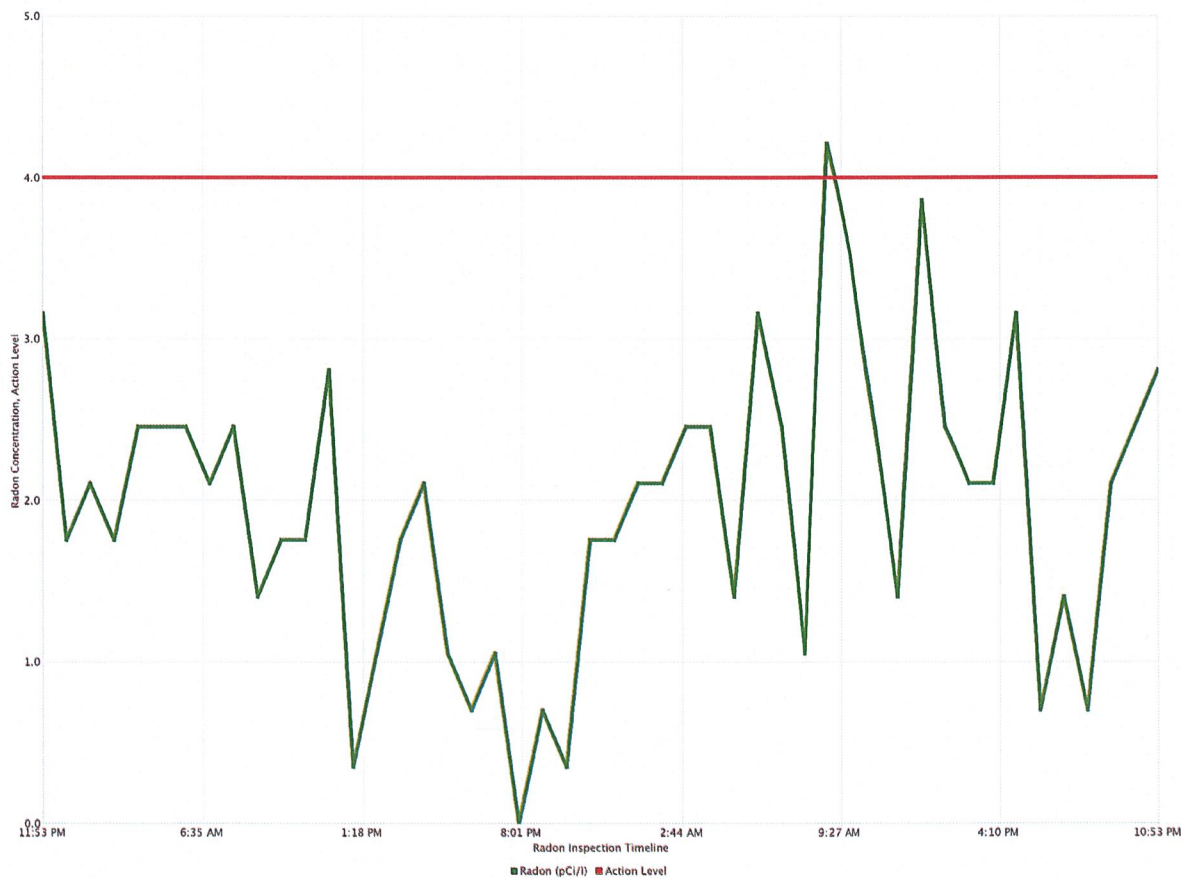
Comments:

Please call with any questions.

Lic/Cert Signature

Inspection Report Date: 08/14/2020

Radon Inspection Chart



Test Result: Below EPA Recommended Action Level

Test Location: ,

Inspection Report Date: 08/14/2020

Test Table

* Data from first 4 hours excluded from EPA calculations

<u>Date/Time</u>	<u>Radon(pCi/l)</u>	<u>Flags</u>
08/10/20 11:53 PM	3.2	-
08/11/20 12:53 AM	1.8	-
08/11/20 01:53 AM	2.1	-
08/11/20 02:53 AM	1.8	-
08/11/20 03:53 AM	2.5	-
08/11/20 04:53 AM	2.5	-
08/11/20 05:53 AM	2.5	-
08/11/20 06:53 AM	2.1	-
08/11/20 07:53 AM	2.5	-
08/11/20 08:53 AM	1.4	-
08/11/20 09:53 AM	1.8	-
08/11/20 10:53 AM	1.8	-
08/11/20 11:53 AM	2.8	-
08/11/20 12:53 PM	0.4	-
08/11/20 01:53 PM	1.1	-
08/11/20 02:53 PM	1.8	-
08/11/20 03:53 PM	2.1	-
08/11/20 04:53 PM	1.1	-
08/11/20 05:53 PM	0.7	-
08/11/20 06:53 PM	1.1	-
08/11/20 07:53 PM	0.0	-
08/11/20 08:53 PM	0.7	-
08/11/20 09:53 PM	0.4	-
08/11/20 10:53 PM	1.8	-
08/11/20 11:53 PM	1.8	-
08/12/20 12:53 AM	2.1	-
08/12/20 01:53 AM	2.1	-
08/12/20 02:53 AM	2.5	-
08/12/20 03:53 AM	2.5	-
08/12/20 04:53 AM	1.4	-
08/12/20 05:53 AM	3.2	-
08/12/20 06:53 AM	2.5	-
08/12/20 07:53 AM	1.1	-
08/12/20 08:53 AM	4.2	-
08/12/20 09:53 AM	3.5	-
08/12/20 10:53 AM	2.5	-
08/12/20 11:53 AM	1.4	-
08/12/20 12:53 PM	3.9	-
08/12/20 01:53 PM	2.5	-
08/12/20 02:53 PM	2.1	-
08/12/20 03:53 PM	2.1	-
08/12/20 04:53 PM	3.2	-
08/12/20 05:53 PM	0.7	-
08/12/20 06:53 PM	1.4	-

Test Result: Below EPA Recommended Action Level

Test Location: ,

Inspection Report Date: 08/14/2020

Test Table

* Data from first 4 hours excluded from EPA calculations

<u>Date/Time</u>	<u>Radon(pCi/l)</u>	<u>Flags</u>
08/12/20 07:53 PM	0.7	-
08/12/20 08:53 PM	2.1	-
08/12/20 09:53 PM	2.5	-
08/12/20 10:53 PM	2.8	-

Test Result: Below EPA Recommended Action Level

Test Location: ,

Inspection Report Date: 08/14/2020

Radon Test Information

Radon Risk Information

Radon causes lung cancer by means of the decay of its daughter products after breathing in air contaminated with higher levels of Radon. The World Health Organization (WHO) estimates that 15% of lung cancers worldwide are caused by exposure to elevated indoor levels of Radon. Overall, radon is the second leading cause of lung cancer responsible for about 21,000 lung cancer deaths every year in the US alone. Radon gas is the number one cause of lung cancer among non-smokers. The U.S. Environmental Protection Agency (EPA), the U.S. Surgeon General, and the Center for Disease Control and Prevention (CDC) strongly recommend that ALL homebuyers have an indoor radon test performed prior to purchase or taking occupancy and recommend having the radon levels professionally mitigated if elevated radon concentrations are found.

Understanding Radon Test Results

Recommended Action Levels vary by country and typically range from 3 pCi/l (100 Bq/m³) to 8 pCi/l (300 Bq/m³). Recommendations below are based on test results by a Continuous Radon Monitor (CRM) Test of at least 48h duration and are based on recommendations by the EPA.

Measured Average Radon Level:

- At or above 4.0 pCi/l (148 Bq/m³): Corrective measures to reduce exposure to radon gas is strongly recommended (ANSI MAH2014)
- Between 2-4 pCi/l (74-148 Bq/m³): Consider mitigation or periodic retest as indoor Radon levels vary by season and weather conditions
- Below 2 pCi/l (74 Bq/m³): Consider bi-annual retest or whenever significant changes to the home structure or mechanical systems occurred

Test Result: Below EPA Recommended Action Level

Test Location: ,

Inspection Report Date: 08/14/2020

Property Inspection Report

Client(s): **Simon Veronneau**

Property address: **57 Edson Woods Rd
Stowe VT 05672**

Inspection date: **Monday, August 10, 2020**

Response generated on Friday, August 14, 2020

Totals:

Repair: **18**

Reduce price: **\$3 (3)**

Credit closing: **\$7 (7)**

The numbered items below are from the inspection report.

Exterior

Reduce
price
\$1

21) One or more flights of stairs with more than two risers have no handrail installed. This is a safety concern. A qualified contractor should install graspable handrails that your hand can completely encircle at stairs where missing per standard building practices. See image:

<https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/S095-Deck-Stair-Handrail-Grip-Size-640x480.jpg>

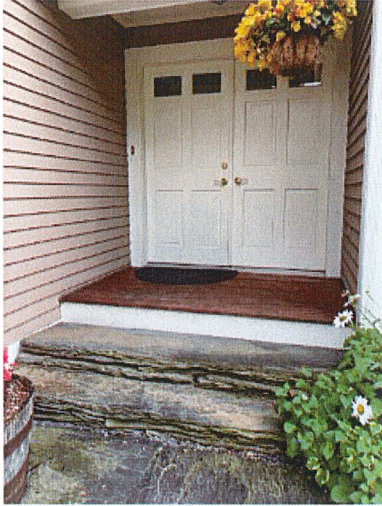


Photo 21-1

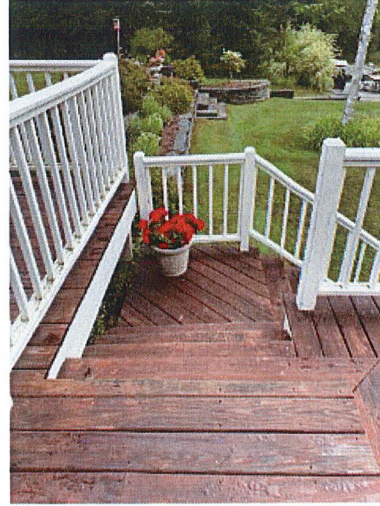


Photo 21-2



Photo 21-3

Credit
closing
costs
\$1

Buyer's notes:

I will replace with a new Marvin window exceeding this requirement. Further that windows shows water damage and wood swelling on the exterior.

22) Basement bedroom windows have inadequate egress in the event of a fire due to the opening size being too small. Raw opening is 20 inches wide, however, when the casement window is fully open, the open air space is reduced to 16 inches. Egress windows should be easy to open, stay open by themselves, and have:

- A minimum width of an opening of 20 inches
- A minimum height of the opening of 24 inches
- A minimum net clear opening of 5.7 square feet (5 square feet for ground floor).

Windows appeared to be adequate to escape from in the event of an emergency, however, recommend having a qualified contractor make modifications as necessary, such as moving or replacing window(s) to comply with these recommendations when replacing windows in the future. For more information, visit:

VT - http://firesafety.vermont.gov/sites/firesafety/files/files/Documents/dfs_code_sheet_windows.pdf

NH - <http://www.nh.gov/safety/divisions/firesafety/bulletins/documents/2009-04WindowBulletin.pdf>

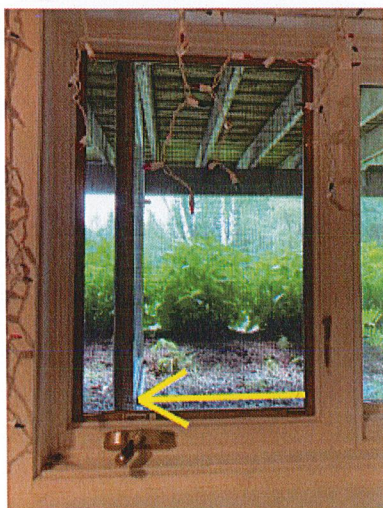


Photo 22-1

Repair

Buyer's notes:

Please have a contractor conduct repairs Of important point especially is the lack of flashing which led to water damage to the window of the basement window

24) The deck and or porch needs repairs/upgrades in one or more areas. Recommend a qualified contractor fully evaluate and repair per standard building practices. Please see the photos for more information.

Recommend all decks be reviewed annually for, pier movement, levelness, separation, loose railings/handrails, decay, etc. and repaired as needed by a qualified contractor.

Deck safety, <http://www.safestronghome.com/resources/video-hsc-deck.asp>

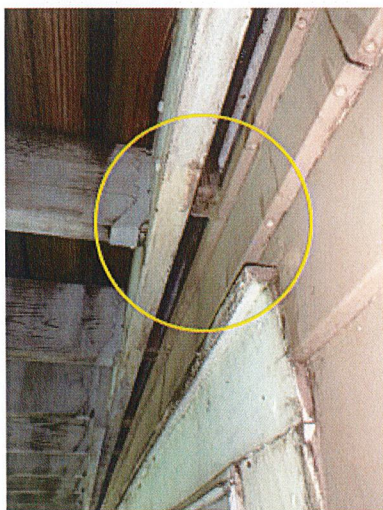


Photo 24-1 Flashing is missing from above one or more deck ledger boards. This can cause moisture to accumulate between the ledger board(s) and the structure. Pass by ledger board blocking has been installed between the deck and the home that will allow water to pass by. Multiple areas of decay were noted below the deck in this area.

A qualified contractor should install flashing above the ledger board(s) where necessary per standard building practices. For more information on installing deck ledger boards visit:

http://www.hometime.com/Howto/projects/decks/deck_4.htm

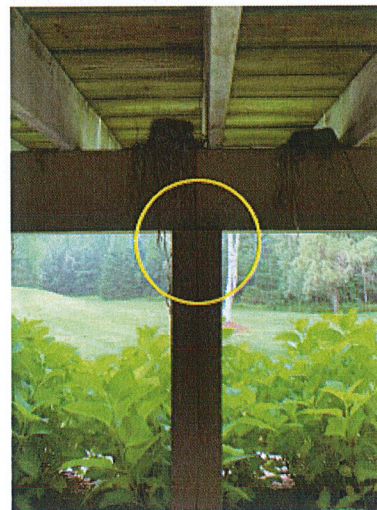


Photo 24-2 Wooden support posts are not securely fastened to beams above. A qualified contractor should evaluate and make repairs as necessary, such as installing metal ties, bracing with lumber, and/or gussets as per standard building practices.

For more information on deck fasteners please see; <http://www.strongtie.com>



Photo 24-3 Deck support posts are below grade and have wood to earth contact, subject to eventual decay. No visible decay noted the day of inspection. Consider improving by installing proper concrete footings with wooden supports above grade (avoiding earth contact) by a qualified contractor.

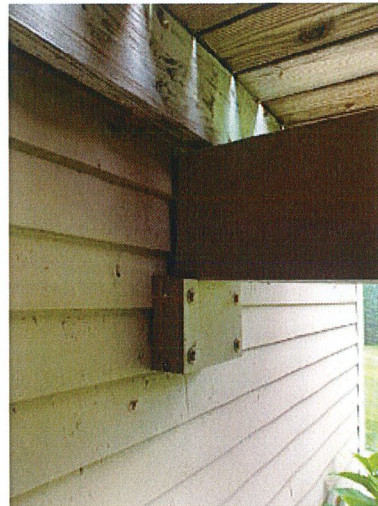


Photo 24-4 Substandard support for the deck beam. Recommend further review and repairs by upgrading support by a qualified contractor. Additional bracing should be considered as well where needed to prevent rolling of the outer deck beam.

Repair

Buyer's notes:

Please have a qualified and licensed contractor conduct repairs

25) Multiple areas of the deck substructure are decayed. Rot was noted at one or more joists, joist block stabilizers, and vertical support posts. Recommend a qualified contractor fully review and repair deck substructure by replacing all rotten wood where needed.

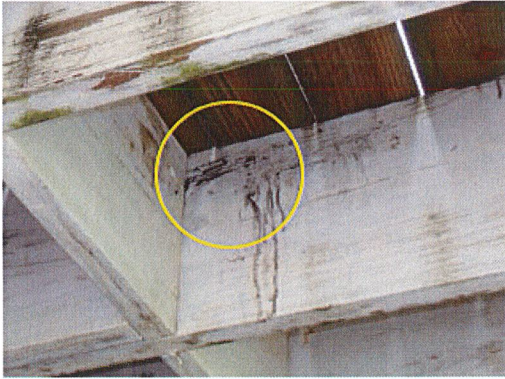


Photo 25-1



Photo 25-2



Photo 25-3

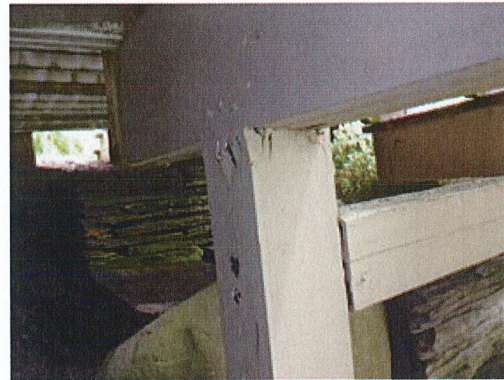


Photo 25-4

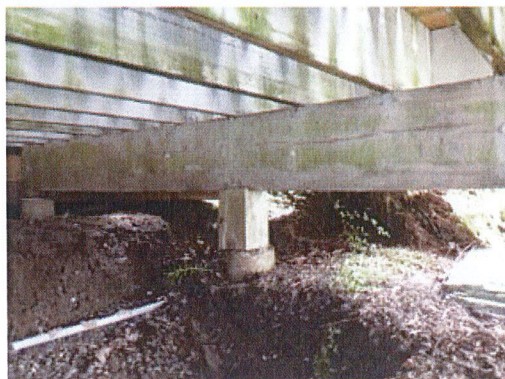


Photo 25-5

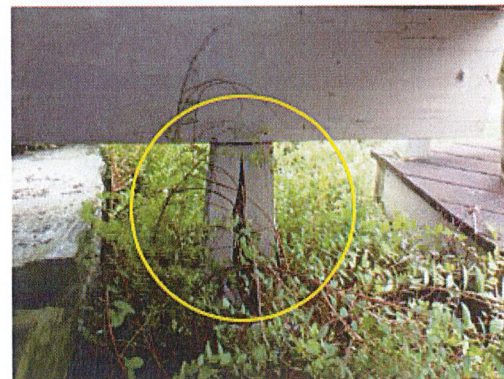


Photo 25-6

Repair

Buyer's notes:

Please have a qualified and licensed contractor conduct repair and wood replacement where needed

26) Areas of rot were noted to the rim joist, roof decking (plywood), beam, and vertical supports at the storage shed under the deck. Storage shed roof may have an active leak. Recommend a full review and repairs by a qualified contractor replacing any rotten wood.

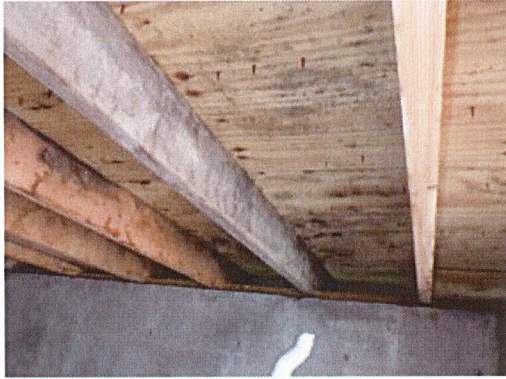


Photo 26-1 Small area of mildew noted to the roof decking in the storage shed. This may not pose a health concern since it is not located in living space, however, recommend proper cleaning of affected area as needed by a qualified contractor.



Photo 26-2

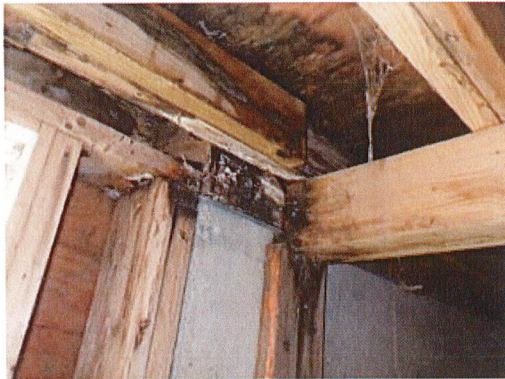


Photo 26-3

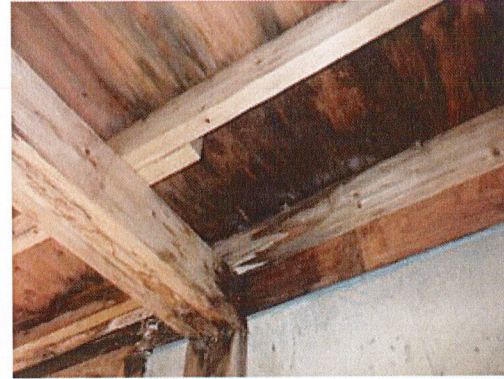


Photo 26-4

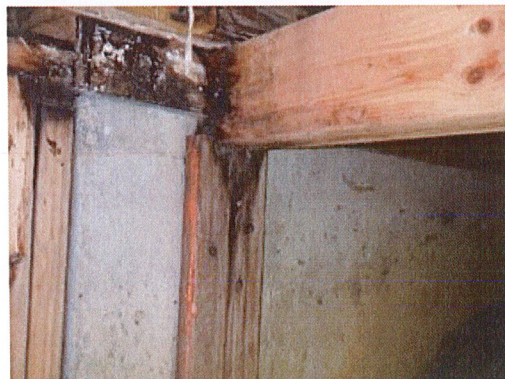


Photo 26-5



Photo 26-6

Repair

Buyer's notes:

Please have the broken glass replaced, crank handle and missing part and condensation window repaired from an approved Marvin repair technician and order the missing part for the model. I will have the basement window replaced as part of fire code correction.

29) Glass in one garage window and basement stairway window is broken or cracked. A qualified contractor should replace glass where necessary.

One basement bedroom window that was built to open, will not open. This may be due to humidity and/or little use. Repairs should be made as necessary, and by a qualified contractor if necessary so windows open fully, and open and close easily.

A good maintenance practice is to lock all windows when not in use, to keep openings from compressing/warping. This also will provide better thermal retention in the winter months. Please note, gaps around windows and doors may be more or less prevalent due to thermal activity during seasonal changes. For example; a very hot summer day, wood and vinyl materials around windows and doors are expanded and no gaps can be seen. High moisture content can also make doors bind when they didn't before. The same door or window at below zero temperatures will be contracted, gaps then may exist. We only view once, the day of inspection. Gaps or binding of door/windows not seen the day of the inspection may be more noticeable at a later date when temperatures and moisture levels change/fluctuate. Monitor, repair, and maintain as if needed in the future.



Photo 29-1 Broken glass in outer pane of garage window.

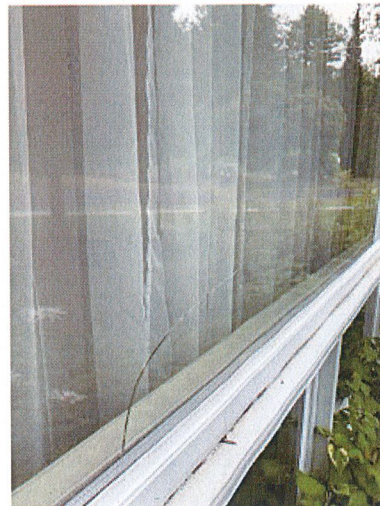


Photo 29-2 Broken glass in inside pane of basement stair way window.

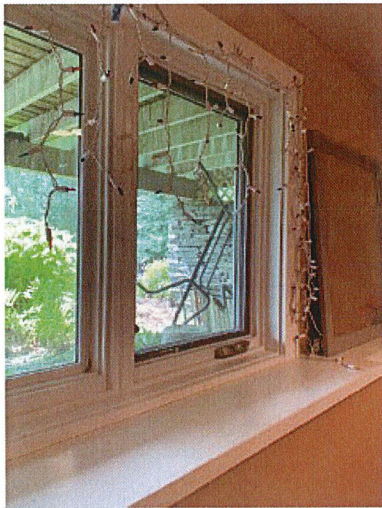


Photo 29-3 The basement bedroom window will not open. It was stuck shut the day of inspection.



Photo 29-4 Seals between double-pane glass in one or more windows appear to have failed based on condensation or stains between the panes of glass. Recommend review and repairs or replacement as needed by a qualified contractor.

The client(s) should be aware that evidence of broken seals may be more or less visible from one day to the next depending on the temperature, humidity, sunlight, etc. Windows or glass doors other than those that the inspector identified may also have failed seals and need glass replaced too.



Photo 29-5 The window crank mechanism handle is in need of repair. Recommend repairs as needed by a qualified contractor.



Photo 29-6 Basement bedroom window trim decay under deck.

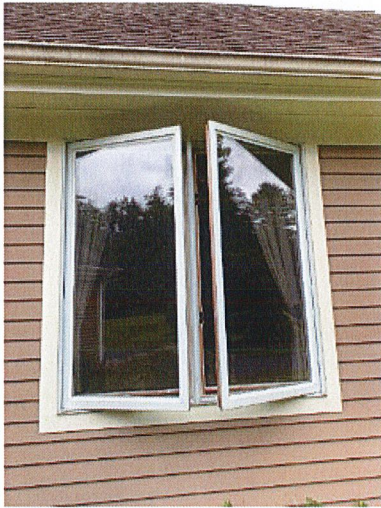


Photo 29-7



Photo 29-8



Photo 29-9 Casement window crank is missing its cover and presents a pinch hazard. Recommend installing cover where missing. This is the basement window to the left of the slider.

Repair

Buyer's notes:

please have the deck board fasten by your deck contractor

32) The finish on the deck(s) and railing(s) is worn and/or deteriorated. One deck board is loose. Recommend refastening deck boards where needed and cleaning and refinishing as necessary.



Photo 32-1

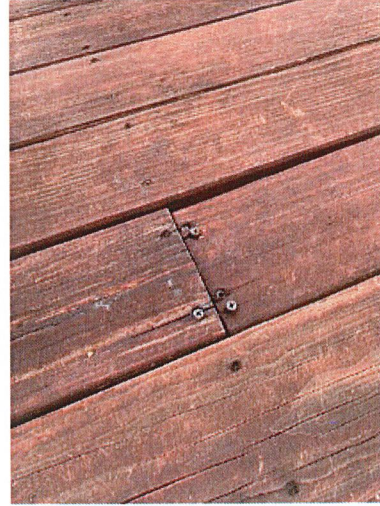


Photo 32-2

Repair

33) Stairs are tipped recommend leveling by a qualified contractor as needed.



Photo 33-1 Tipped stairs may possibly be due to the rotten deck vertical support below.

Reduce
price
\$1

Buyer's notes:

I will have wrought iron handrail installed myself

34) For additional safety recommend having a qualified contractor install graspable handrails at stone walkways where missing. These are often missing due to aesthetic reasons.



Photo 34-1

Repair

38) One or more outside faucets appeared to be inoperable. No water came out of the faucet(s) when turned on. This may be due to a (winterizing) shut-off valve being turned off. As per VT and or NH Standards of Practice, the inspector did not attempt to turn on or off any water supply shut-off valves. Recommend that the client(s) ask the seller about outside faucets with no water, have them turned on prior to the final walk through so the clients can verify operation and/or have a qualified plumber evaluate and repair faucet(s) if necessary.



Photo 38-1

Repair 41) Gutters have debris in them. They should be cleaned now and maintained as necessary in the future.



Photo 41-1

Roof

Repair

Buyer's notes:

Please have a licensed roofing contractor finish the roof repair

48) The South facing roof surface was recently replaced and appeared in adequate condition. The North facing roof surface material appears to be near the end of its service life and will likely need replacing in the near future, even with repairs. The client(s) should budget for a replacement roof surface, and should have a qualified roofing contractor evaluate and repair to extend the life of the current roof if replacement is not an option now.

Defect images: <https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/R048-C-Worn-Asphalt-Shingles.jpg>

See photos for more information.



Photo 48-1

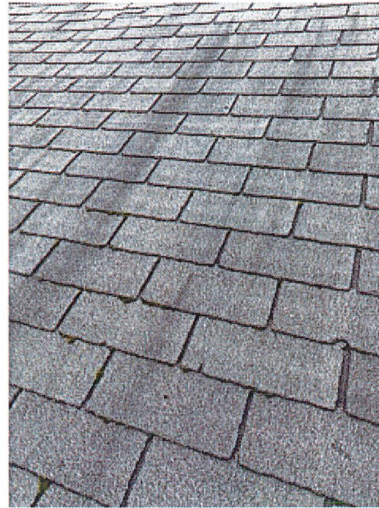


Photo 48-2



Photo 48-3 Deteriorated shingles with exposed nails. Potential for leaks.



Photo 48-4 Valley wear noted.



Photo 48-5



Photo 48-6



Photo 48-7 Replacement roof surface on the South facing side.



Photo 48-8

Repair

Buyer's notes:

Please have a licensed roofing contractor verify this repair

49) Roof / tar patch has been applied in one or more areas of flashing, Recommend review and repairs as needed by a qualified roofer and or mason as needed. Tar / roof patch is considered a temporary repair. Uncertain if the patch is reactive or a preventive measure. At a minimum, conduct continual evaluation of sealant and repair when needed until review/ repair can be done.

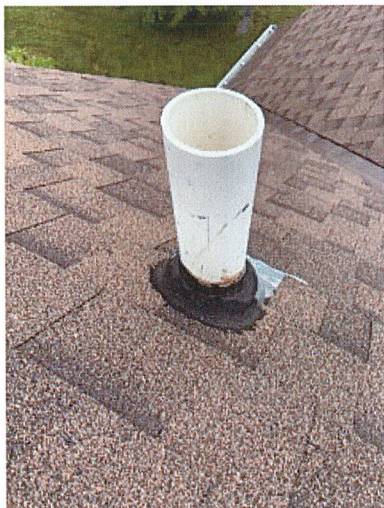


Photo 49-1

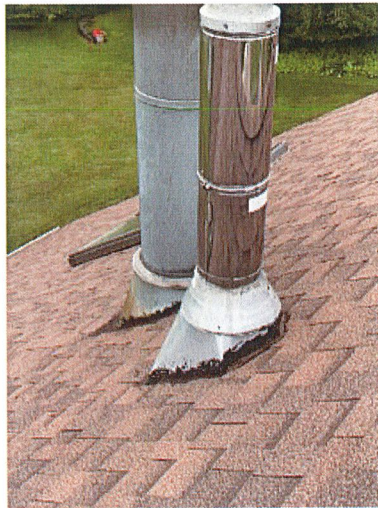


Photo 49-2

Repair

Buyer's notes:

Please have a licensed roofing contractor finish the roof repair

50) Nails are exposed around skylight flashing due to missing shingles. Potential for leaks. A qualified roofing contractor should evaluate and make repairs as necessary.



Photo 50-1



Photo 50-2

Electric Service

Repair

Buyer's notes:

Please have a qualify electrician make the repair

55) Extension cords were being used for permanent wiring in one or more areas. They should only be used for portable equipment on a temporary basis. Cords should be removed as necessary if used permanently, and or a qualified electrician should evaluate and make repairs as necessary. For example, installing additional circuits and/or electric receptacles.

Image: <https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/E086C-Extension-Cord-Problems.jpg>



Photo 55-1

Repair

Buyer's notes:

Please have a qualify electrician make the repair

56) One or more electric receptacles appear to have no power. Recommend asking the property owner(s) about this. Switches may need to be operated to make some receptacles energized, or in this case, receptacle may be on a timer. If necessary, a qualified electrician should evaluate and make repairs as necessary.

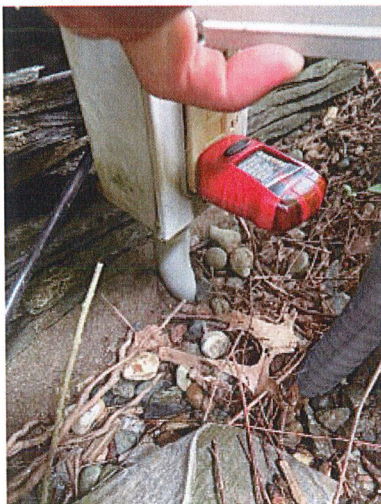


Photo 56-1

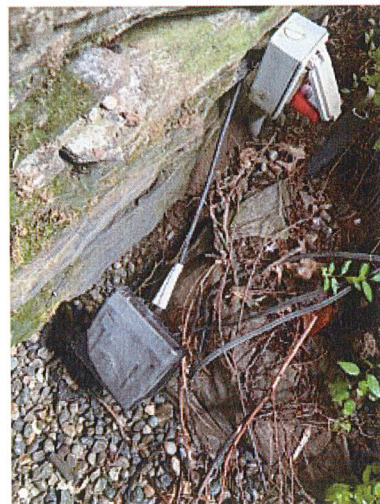


Photo 56-2

Repair

Buyer's notes:

Please have a qualify electrician make the repair

57) One or more knockouts have been removed inside the main service panel where no wires and bushings are installed, and no cover(s) have been installed to seal the hole(s). This is a safety concern due to contamination in the panel. A qualified electrician should install knockout covers where missing.

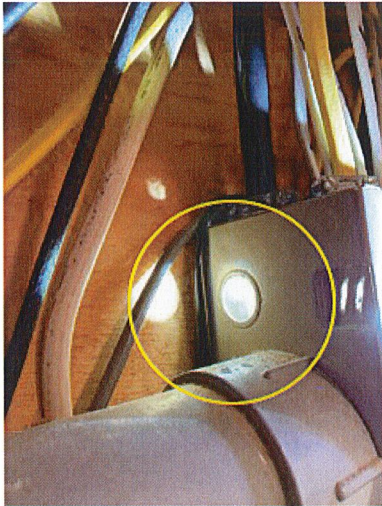


Photo 57-1

Repair

Buyer's notes:

Please have a qualify electrician make the repair

58) Cover plates are missing in one or more areas, recommend covers be installed on all open receptacles and or junction boxes as needed by a qualified electrician.



Photo 58-1 Junction box near chimney in garage.

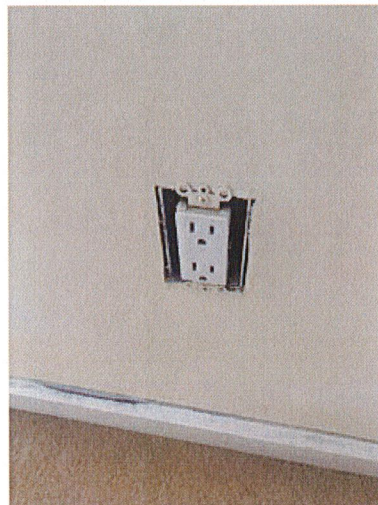


Photo 58-2 Receptacle behind master closet door.

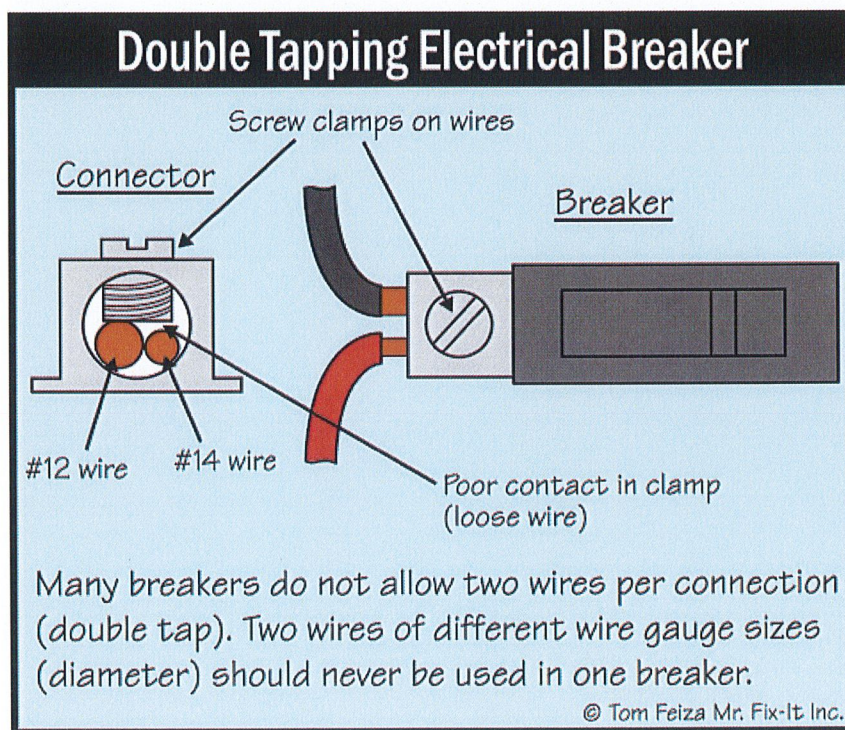
Repair

Buyer's notes:

Please have a qualify electrician make the repair and if ne pessary replace for a bigger electrical panel to accommodate a single wire per breaker and a properly loaded neutral bar.

59) Panel(s) appeared in adequate overall condition, however, neutral wires are doubled or bundled together on the neutral bar. This is unsafe due to the need to turn off multiple circuit breakers to work on any of the circuits using these wires. A qualified electrician should evaluate and repair as necessary.

One or more over-current protection devices (circuit breakers) are "double tapped", where 2 or more wires are clamped in a terminal designed for only one wire. This is a safety concern since the bolt or screw may tighten securely against one wire, but leave others loose. A very common item found during home inspections. A qualified electrician should evaluate and repair as necessary.



EO47C

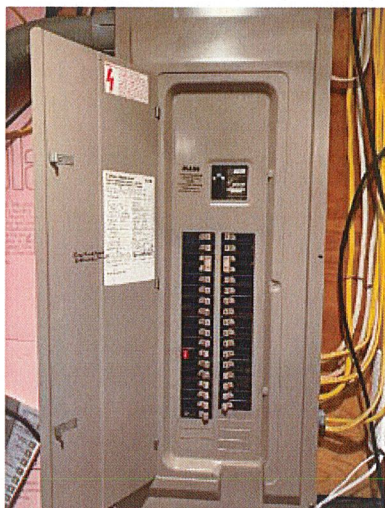


Photo 59-1

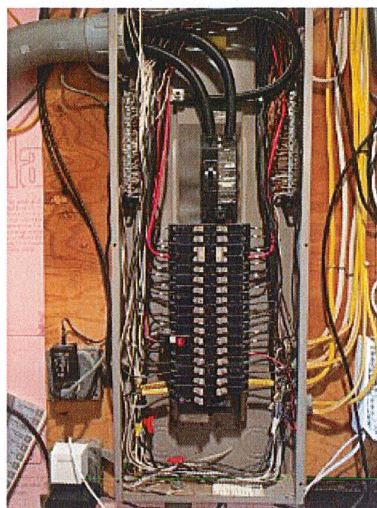


Photo 59-2



Photo 59-3

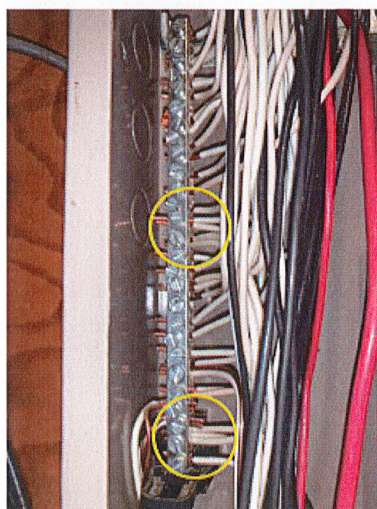


Photo 59-4 Bundled neutrals.

Water Heater

Credit
closing
costs
\$1

63) The estimated useful life for most water heaters is 8 to 15 years. This water heater appears to be 27 years old and may need replacing at any time. Recommend budgeting for a replacement in the near future.

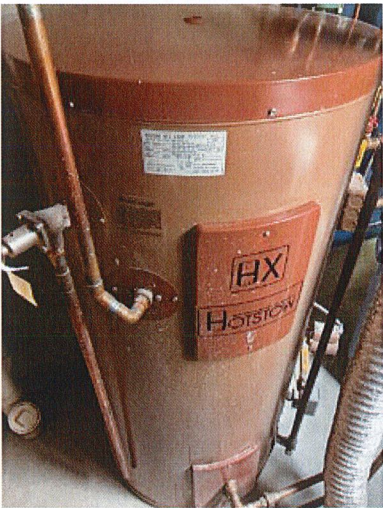


Photo 63-1

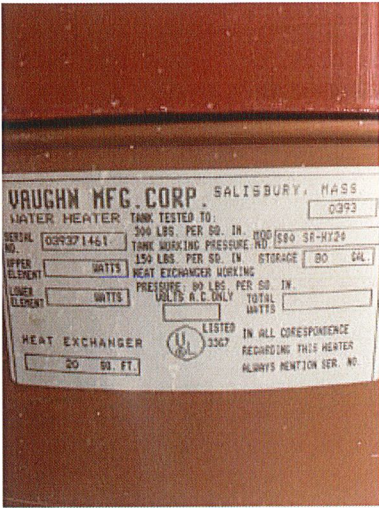


Photo 63-2

Plumbing & Laundry

Credit
closing
costs
\$1

Buyer's notes:

I will have a contractor make a solid ducting

78) The clothes dryer is equipped with a PVC, cloth, vinyl, or foil and /or an accordion-type, flexible exhaust duct (something other than metal). Clothes dryer manufacturers and the CPSC specify the use of a UL Listed rigid or corrugated semi-rigid metal duct due to dryer fire containment safety concerns. Some manufactures allow aluminum foil connection from the dryer to the venting system (although, in our opinion not the best choice). Recommend a qualified contractor review manufactures instructions and ductwork repair as/if per standard practices using UL Listed components. For more information on dryer safety issues, see

<https://www.cpsc.gov/s3fs-public/5022.pdf>

Image of a good dryer vent set up; <https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/M060C-Clothes-Dryer-Venting-Good-Conditions-640x480.jpg>

For a video on dryer duct types and fire, vent containment see: <https://www.facebook.com/MinnesotaHomeInspections/videos/435474467136046/UzpfSTMxMjk0MTk5NTU1MDYwNzoxNDQwMzlwNTI2MTQ2MDc2/>

Dryer ducts should be cleaned annually, or more often if necessary in the future. See link for maintenance: https://www.facebook.com/coveredbridgeinspections/posts/1430958000415662?_xts

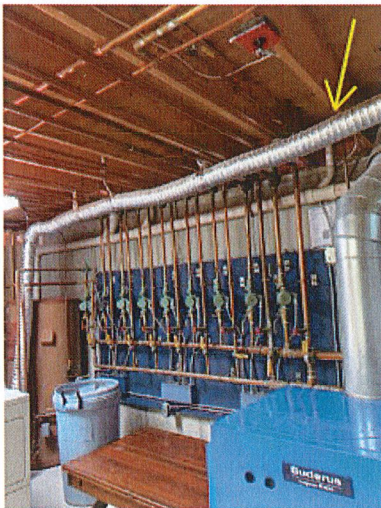


Photo 78-1

Kitchen

Reduce
price
\$1

97) Recommended upgrade,
No range hood is installed over the range or cook top. Ventilation and/or lighting may be inadequate.
Recommend having a qualified contractor install a vented and lighted range hood per standard building practices.

Bathrooms

Repair

Buyer's notes:

Please have a qualify plumber ensured it is secured and correctly connected

102) One or more toilets are loose, it just may need tightening. Loose toilet / wax rings can cause water damage to the sub floor that is not visible. Recommend a qualified contractor evaluate and repair as needed.



Photo 102-1 Basement bathroom toilet.

Interior Rooms

Credit
closing
costs
\$1

Buyer's notes:

I will install handrails myself

113) Handrail(s) at some stairs are ungraspable and are a safety concern. Handrails should be sized and shaped so your hand can encircle them. A qualified contractor should make repairs or modifications as necessary. For example, replacing existing handrails or installing additional handrails. See image: <https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/S095-Deck-Stair-Handrail-Grip-Size-640x480.jpg>



Photo 113-1

Credit
closing
costs
\$1

114) Master bedroom exterior sliding door is damaged and/or deteriorated and should be repaired or replaced by a qualified contractor.

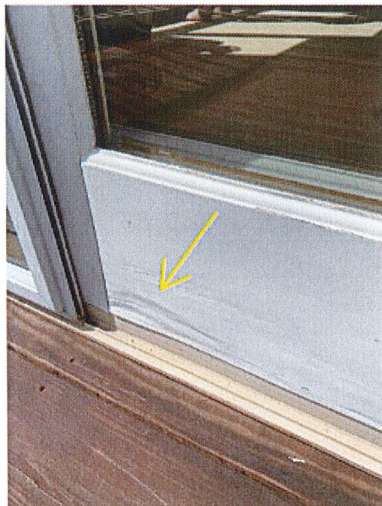


Photo 114-1

Repair **115)** Screens in one or more sliding doors are torn or have holes in them. Screens should be replaced where necessary.



Photo 115-1

Credit closing costs **119)** One or more guardrails are too low. This is a safety concern due to the risk of falling. Standard building practices require that guardrails above drop-offs be 36 inches high. A qualified contractor should evaluate and modify or replace guardrails where necessary, and especially above drop-offs higher than 30 inches. See image for more information;

\$1

<https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/S090-Deck-Guardrail-Requirements-640x480.jpg>



Photo 119-1

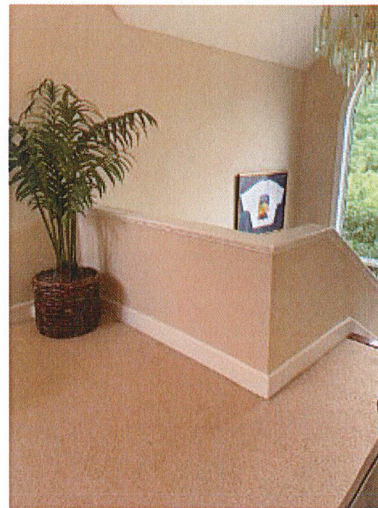


Photo 119-2

Garage

**Credit
closing
costs
\$1**

127) Recommended upgrade for added safety,
One or more wall and/or ceiling surfaces between the attached garage and interior living spaces have inadequate surface materials, recommend fire wall protection. These surfaces are intended to prevent vehicle fumes from entering living spaces, and to slow the spread of fire from the garage to living spaces. A qualified contractor should evaluate and make repairs as necessary so the attached garage wall and ceiling surfaces that adjoin living spaces are tightly sealed and fire rated as per standard building practices. Typically these surfaces have a one-hour fire rating.

A typical application is 5/8" sheetrock taped and seamed.

<https://coveredbridgeprofessionalhomeinspections.com/blog/wp-content/uploads/2020/04/S067C-Home-Fire-Resistance-640x480.jpg>

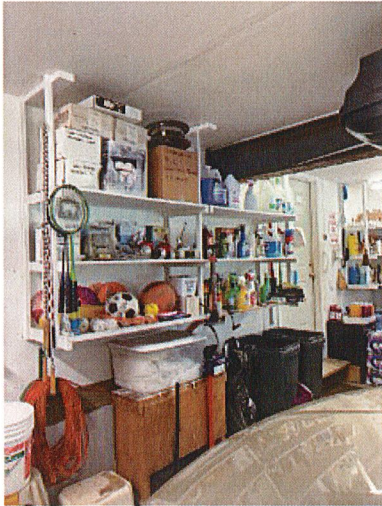


Photo 127-1 Plywood is present on the wall surface between the garage and living space.

This inspection performed by:



Covered Bridge Professional Home Inspections, LLC

Signatures

Buyers

Signature:

Print name:

Signature:

Print name:

Date signed:

Sellers

Signature:

Print name:

Signature:

Print name:

Date signed: